

7-ELEVEN SOUTHERN

A REPLAT OF LOTS 122, 123, & 186-197 AND PORTIONS OF LOTS 118-121, 124-127, 184 & 185, "REVISED PLAT OF ESTATES OF SOUTH PALM BEACH", AS RECORDED IN PLAT BOOK 7, PAGE 33, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, IN SECTION 34, TOWNSHIP 43 SOUTH, RANGE 43 EAST, CITY OF WEST PALM BEACH, PALM BEACH COUNTY, FLORIDA

THIS INSTRUMENT WAS PREPARED BY
DONNA C. WEST OF
PULICE LAND SURVEYORS, INC.
CERTIFICATE OF AUTHORIZATION NO. LB3870
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
954-572-1777 FAX 954-572-1778

STATE OF FLORIDA
COUNTY OF PALM BEACH
THIS PLAT WAS FILED FOR RECORD AT
10:54 AM, THIS 25 DAY OF
MAY, 2021, AND DULY
RECORDED IN PLAT BOOK 132, ON
PAGES 59 THROUGH 63.
JOSEPH ABRUZZO, CLERK OF THE
CIRCUIT COURT & COMPTROLLER
By: Denise McCall
DEPUTY CLERK

SHEET 1 OF 2 SHEETS



CLERK OF THE CIRCUIT COURT & COMPTROLLER

DEDICATION AND RESERVATIONS:

KNOW ALL MEN BY THESE PRESENTS: THAT 301 SOUTHERN, LLC, A FLORIDA LIMITED LIABILITY COMPANY, OWNER OF THE LAND SHOWN HEREON AS "7-ELEVEN SOUTHERN", BEING A REPLAT OF LOTS 122, 123, AND 186 THROUGH 197 AND PORTIONS OF LOTS 118 THROUGH 121, 124 THROUGH 127, 184 AND 185, "REVISED PLAT OF ESTATES OF SOUTH PALM BEACH", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, PAGE 33, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LYING WITHIN SECTION 34, TOWNSHIP 43 SOUTH, RANGE 43 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 197; THENCE NORTH 01°13'57" EAST, ALONG THE WEST LINE OF SAID LOT 197, 106.90 FEET TO THE NORTHWEST CORNER OF SAID LOT 197; THENCE SOUTH 88°46'03" EAST, ALONG THE NORTH LINE OF SAID LOTS 195 THROUGH 197, 75.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 118; THENCE NORTH 01°13'57" EAST, ALONG THE WEST LINE OF SAID LOT 118, 95.00 FEET; THENCE SOUTH 88°46'03" EAST, ALONG A LINE 5.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF SAID LOTS 118-121, 100.00 FEET; THENCE NORTH 01°13'57" EAST, ALONG THE WEST LINE OF SAID LOT 122, 5.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 122; THENCE SOUTH 88°46'03" EAST, ALONG THE NORTH LINE OF SAID LOTS 122 THROUGH 124, 144.02 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SOUTH OLIVE AVENUE (STATE ROAD NO. 5 / U.S. HWY. NO. 1); THENCE ALONG SAID WEST RIGHT-OF-WAY LINE OF SOUTH OLIVE AVENUE AS SHOWN ON FLORIDA DEPARTMENT OF TRANSPORTATION MAINTENANCE MAP SECTION 93020-MAINT.(5) THE FOLLOWING FOUR COURSES: (1) SOUTH 00°23'15" WEST 63.74 FEET; (2) SOUTH 01°46'01" EAST 36.32 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 127; (3) NORTH 88°46'03" WEST, ALONG SAID SOUTH LINE, 0.05 FEET; (4) SOUTH 01°41'17" EAST, ALONG A LINE 15 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID LOT 184, 107.04 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 184; THENCE NORTH 88°46'03" WEST, ALONG THE SOUTH LINE OF SAID LOTS 184-197, 327.26 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN THE CITY OF WEST PALM BEACH, FLORIDA, AND CONTAINING 58,693 SQUARE FEET (1.3474 ACRES), MORE OR LESS.

HAS CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN HEREON AND DOES HEREBY DEDICATE AND RESERVE AS FOLLOWS:

- PARCEL "A" AS SHOWN HEREON IS HEREBY RESERVED FOR 301 SOUTHERN, LLC, A FLORIDA LIMITED LIABILITY COMPANY, ITS SUCCESSORS AND ASSIGNS, FOR PURPOSES CONSISTENT WITH THE ZONING REGULATIONS OF THE CITY OF WEST PALM BEACH, FLORIDA, AND IS THE PERPETUAL MAINTENANCE OBLIGATION OF 301 SOUTHERN, LLC, A FLORIDA LIMITED LIABILITY COMPANY, ITS SUCCESSORS AND ASSIGNS, WITHOUT RECOURSE TO THE CITY OF WEST PALM BEACH, FLORIDA.
- PARCELS "RW1" AND "RW2", AS SHOWN HEREON, ARE HEREBY DEDICATED TO THE CITY OF WEST PALM BEACH, FLORIDA, IN FEE SIMPLE FOR THE PERPETUAL USE OF THE PUBLIC FOR PUBLIC STREET PURPOSES.
- THE ACCESS EASEMENT AS SHOWN HEREON IS HEREBY DEDICATED TO THE CITY OF WEST PALM BEACH, FLORIDA, FOR THE PERPETUAL USE OF THE PUBLIC FOR SIDEWALK AND PEDESTRIAN, BICYCLIST AND OTHER NON-VEHICULAR ACCESS PURPOSES, AND IS THE PERPETUAL MAINTENANCE OBLIGATION OF 301 SOUTHERN, LLC, A FLORIDA LIMITED LIABILITY COMPANY, ITS SUCCESSORS AND ASSIGNS, WITHOUT RECOURSE TO THE CITY OF WEST PALM BEACH.

IN WITNESS WHEREOF, THE ABOVE NAMED COMPANY HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS AUTHORIZED MEMBER, BY AND WITH THE AUTHORITY OF ITS BOARD OF DIRECTORS, THIS 9th DAY OF February, 2021.

WITNESS: Bradley Koepig
PRINT NAME: Bradley Koepig
WITNESS: Glenn E. Strub
PRINT NAME: Glenn E. Strub
BY: Scott A. Johnson
301 SOUTHERN, LLC,
A FLORIDA LIMITED LIABILITY COMPANY
SCOTT A. JOHNSON,
AUTHORIZED MEMBER

ACKNOWLEDGMENT:

STATE OF Florida }
COUNTY OF Palm Beach } ss

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF PHYSICAL PRESENCE OR ONLINE NOTARIZATION, THIS 9th DAY OF February, 2021, SCOTT A. JOHNSON, AS AUTHORIZED MEMBER OF 301 SOUTHERN, LLC, A FLORIDA LIMITED LIABILITY COMPANY, WHO IS PERSONALLY KNOWN TO ME OR HAS PRODUCED _____ AS IDENTIFICATION.

MY COMMISSION EXPIRES: May 1, 2022

Annette Miller Devlin
SIGNATURE - NOTARY PUBLIC
PRINT NAME: Annette Miller Devlin

MORTGAGEES JOINDER AND CONSENT:

THE UNDERSIGNED HEREBY CERTIFIES THAT IT IS THE HOLDER OF A MORTGAGE UPON THE PROPERTY DESCRIBED HEREON AND DOES HEREBY JOIN IN AND CONSENT TO THE DEDICATIONS DESCRIBED HEREON AND AGREES THAT ITS MORTGAGE WHICH IS RECORDED IN OFFICIAL RECORDS BOOK 31588, PAGE 1109 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SHALL BE SUBORDINATED TO THE DEDICATIONS SHOWN HEREON.

IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS Vice President, AND ITS CORPORATE SEAL TO BE AFFIXED HEREON BY AND WITH THE AUTHORITY OF ITS BOARD OF DIRECTORS, THIS 19th DAY OF February, 2021.

WITNESS: Kristin Maletta
PRINT NAME: Kristin Maletta
WITNESS: Spacy J. Hildreth
PRINT NAME: Spacy J. Hildreth
BY: Brent Mathisen
FARM BUREAU LIFE INSURANCE COMPANY,
AN IOWA CORPORATION
NAME: BRENT MATHISEN
TITLE: Investment Vice President
Real Estate

ACKNOWLEDGMENT:

STATE OF IOWA }
COUNTY OF Polk } ss

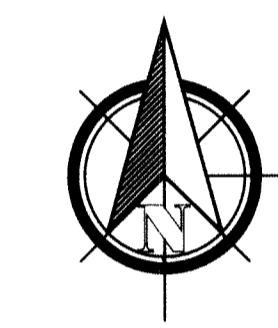
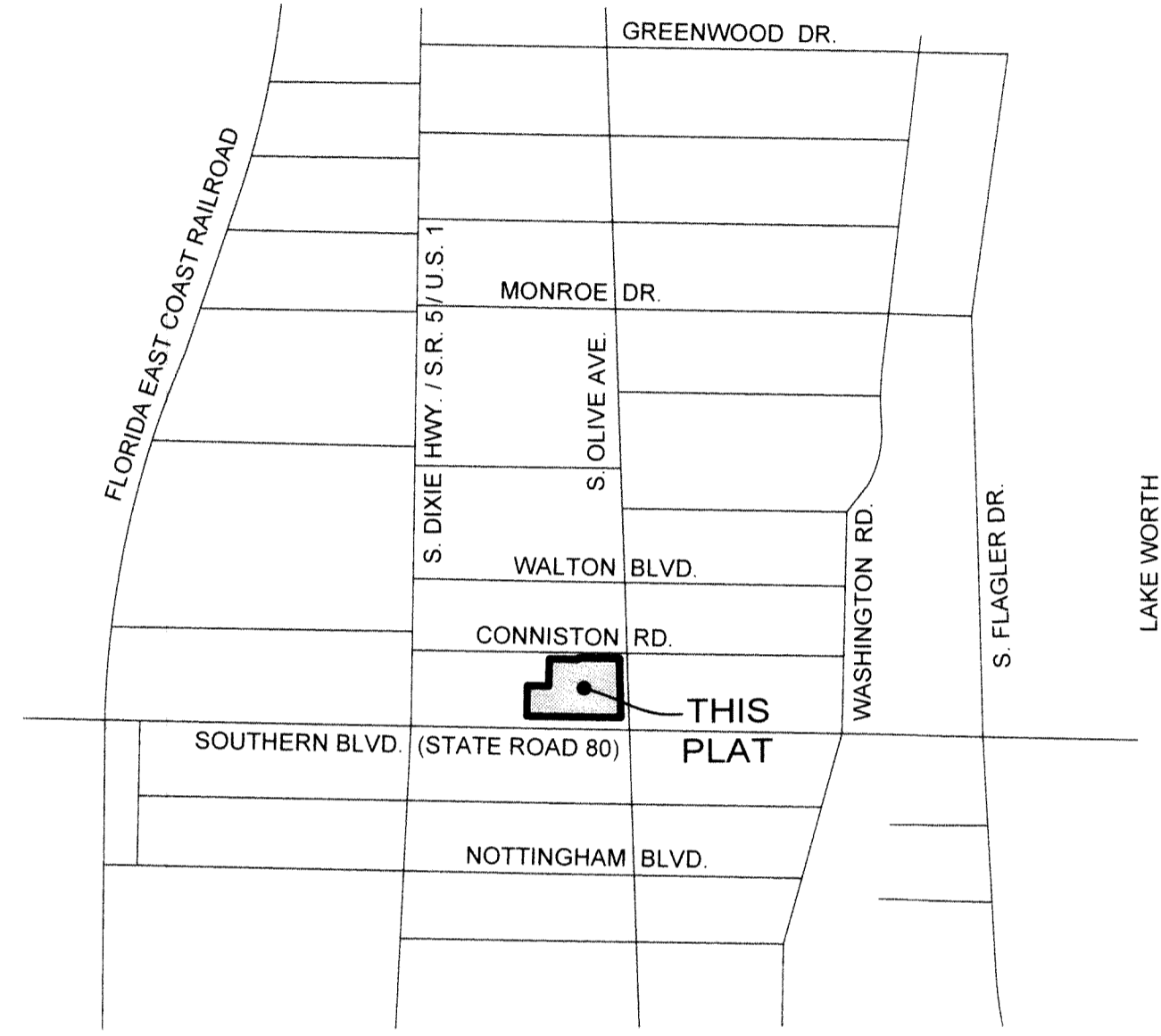
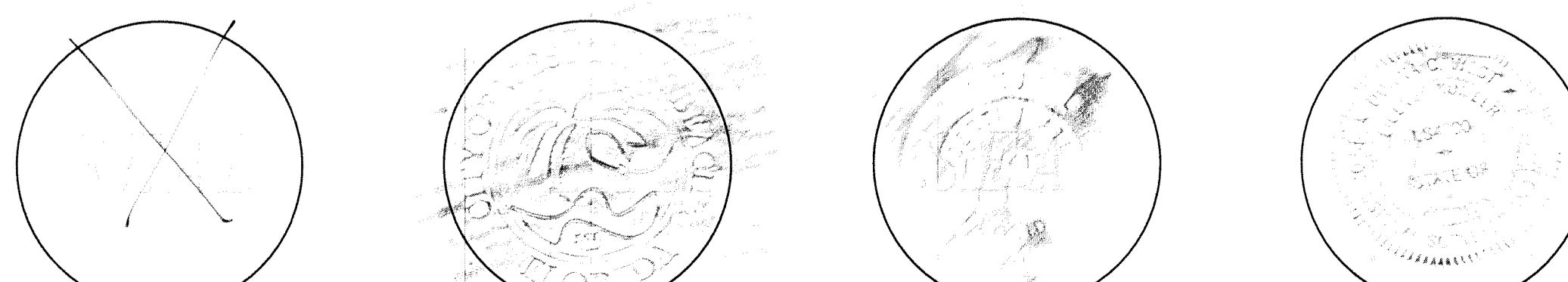
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF PHYSICAL PRESENCE OR ONLINE NOTARIZATION, THIS 19th DAY OF February, 2021, BY Brent Mathisen, AS Vice President OF FARM BUREAU LIFE INSURANCE COMPANY, AN IOWA CORPORATION, ON BEHALF OF THE CORPORATION, WHO IS PERSONALLY KNOWN TO ME OR HAS PRODUCED _____ AS IDENTIFICATION.

MY COMMISSION EXPIRES: 10-6-2022

Michelle L. Cook
SIGNATURE - NOTARY PUBLIC
PRINT NAME: Michelle L. Cook



FARM BUREAU LIFE INSURANCE COMPANY
CITY OF WEST PALM BEACH
REVIEWING SURVEYOR
SURVEYOR



SURVEYOR'S NOTES:

- NO BUILDINGS OR ANY KIND OF CONSTRUCTION OR TREES OR SHRUBS SHALL BE PLACED ON ANY EASEMENT WITHOUT WRITTEN CONSENT OF ALL EASEMENT BENEFICIARIES AND ALL APPLICABLE COUNTY APPROVALS OR PERMITS AS REQUIRED FOR SUCH ENCROACHMENTS.
- IN THOSE CASES WHERE EASEMENTS OF DIFFERENT TYPES CROSS OR OTHERWISE COINCIDE, DRAINAGE EASEMENTS SHALL HAVE FIRST PRIORITY, UTILITY EASEMENTS SHALL HAVE SECOND PRIORITY, ACCESS EASEMENTS SHALL HAVE THIRD PRIORITY, AND ALL OTHER EASEMENTS SHALL BE SUBORDINATE TO THESE WITH THEIR PRIORITIES BEING DETERMINED BY USE RIGHTS GRANTED.
- BUILDING SETBACK LINES SHALL BE AS REQUIRED BY CURRENT CITY OF WEST PALM BEACH ZONING REGULATIONS.
- ALL RECORDED DOCUMENTS ARE PER PALM BEACH COUNTY RECORDS, FLORIDA.
- NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- BEARINGS SHOWN HEREON ARE RELATIVE TO THE STATE PLANE COORDINATES SYSTEM, FLORIDA EAST ZONE, NORTH AMERICAN DATUM (NAD) OF 1983/1990 ADJUSTMENT WITH THE NORTH RIGHT-OF-WAY LINE OF SOUTHERN BLVD./STATE ROAD NO. 80 BEARING NORTH 88°46'03" WEST AS SHOWN ON THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP SECTION 93120-2519 SHEETS 5 & 6 DATED 1/6/10.

CITY OF WEST PALM BEACH APPROVAL:

THIS PLAT AS SHOWN HEREON HAS BEEN APPROVED FOR RECORD BY THE CITY COMMISSION OF THE CITY OF WEST PALM BEACH, FLORIDA, AND DOES HEREBY ACCEPT THE DEDICATIONS TO THE CITY OF WEST PALM BEACH CONTAINED ON THIS PLAT.

THIS 10 DAY OF May, 2021.
BY: Keith A. James
KEITH A. JAMES, MAYOR

REVIEWING SURVEYOR

THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY IN ACCORDANCE WITH CHAPTER 177.081 OF THE FLORIDA STATUTES AND THE ORDINANCES OF THE CITY OF WEST PALM BEACH. THIS REVIEW DOES NOT INCLUDE THE VERIFICATION OF GEOMETRIC DATA OR THE FIELD VERIFICATION OF MONUMENTS AT PARCEL CORNERS.

BY: Vincent J. Noel 5/6/2021
VINCENT J. NOEL, P.S.M.
FLORIDA CERTIFICATE NO. LS4169 DATE

TITLE CERTIFICATION:

STATE OF FLORIDA)
COUNTY OF PALM BEACH) ss
I, LARRY B. ALEXANDER, A DULY LICENSED ATTORNEY IN THE STATE OF FLORIDA, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE TO THE HEREON DESCRIBED PROPERTY; THAT I FIND THE TITLE TO THE PROPERTY IS VESTED IN 301 SOUTHERN, LLC, A FLORIDA LIMITED LIABILITY COMPANY; THAT THE CURRENT TAXES HAVE BEEN PAID; THAT ALL MORTGAGES NOT SATISFIED OR RELEASED OF RECORD NOR OTHERWISE TERMINATED BY LAW ARE SHOWN HEREON; AND THAT THERE ARE ENCUMBRANCES OF RECORD BUT THOSE ENCUMBRANCES DO NOT PROHIBIT THE CREATION OF THE SUBDIVISION DEPICTED BY THIS PLAT.

BY: Larry B. Alexander 5/25/21
NAME: LARRY B. ALEXANDER, DATE 5/25/21
ATTORNEY AT LAW
LICENSED IN FLORIDA, FBN 0543179

SURVEYOR AND MAPPER'S CERTIFICATE:

THIS IS TO CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT SAID SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT PERMANENT REFERENCE MONUMENTS ("P.R.M.'S") HAVE BEEN PLACED AS REQUIRED BY LAW; AND FURTHER THAT THE SURVEY DATA COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AS AMENDED, AND ORDINANCES OF THE CITY OF WEST PALM BEACH, FLORIDA.

BY: Donna C. West 2/5/21
DONNA C. WEST DATE
PROFESSIONAL SURVEYOR AND MAPPER NO. LS4290
STATE OF FLORIDA